



LE GRAND

Annexure A

Architectural

Rules and Guidelines

Approved by the LGHOA Board of Directors – 5 August 2019

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1. INTRODUCTION

General

The Architectural language contains a mixture of elements from modern to classical contemporary architecture. Scale, proportion and colour are crucial in the establishment of cohesive architectural language. Careful consideration should therefore be given to the articulation of the building forms, their roofs, wall openings, detailing and colour in order to achieve an attractive homogenous architecture.

The aim of the Architectural Rules and Guidelines is to advise on how to use different building shapes and finishes to create a natural, classic contemporary house which will be timeless. Our emphasis is also to encourage a style where nature and landscaping can form an integral part of the home.

It is important that the Estate has a low visual impact, therefore the use of lower roofs, natural colouring and terracing is encouraged. The views and privacy from neighbouring dwellings are also important and should be protected by use of courtyards and planting.

Designers are therefore encouraged to be innovative in their approach and the Guidelines should not be regarded as a restrictive measure, but be embraced as an attempt to maintain an overall design sensitivity without inhibiting individual creative design.

Where a designer wishes to promote a design concept that may be in conflict with certain conditions in the Guidelines or where site conditions are such that a logical design approach may be inhibited by one or more restrictions in the Guidelines, designers may approach the AC ('Aesthetic Committee') with a formal request to discuss their proposal and to apply for exemption from those specific conditions in the Guidelines. This application should form part of the Provisional Plan Submission. The members of the AC will consider the application for deviation and after consultation with the designer, may request further submissions before accepting or rejecting the application. The decision of the AC will be final and no protracted negotiations will be entered into.

It is envisaged that by encouraging the use of common external finishes and building materials and creatively designed individual dwellings that adhere to the general parameters set in these Guidelines, a range of architectural interpretations will evolve which all share the same responsiveness to the site and the stated development philosophy for Le Grand.

Design and Submission of Plans

- 1.1 This Guidelines Document should be read in conjunction with both the Local Authority (George Municipality) and the National Building Regulations (SANS 10400).
- 1.2 If there are any discrepancies in this guideline, the AC should be informed prior to any design or building work taking place.
- 1.3 It is required from the LGHOA (Le Grand Home Owners Association) that all building plans are to be submitted and approved by the AC and the LGHOA before submission for approval to the local authority.
- 1.4 The intention of the initial scrutiny of plans is to assist members and architectural professionals to comply with the LGHOA Architectural Rules & Guidelines.
- 1.5 Scrutiny fees are payable directly to the LGHOA
Plan submission: The following fees are payable with the submission of plans for LGHOA approval.
 1. New dwellings - R 3 000.00

2. Alterations & additions - R 1 500.00
3. Pools, yard/boundary walls, pergolas - R 500.00

1.6 Submission of plans to the AC to be presented 24 hrs before the bi-weekly meeting as follows:-

1. 2 Sets of drawings in A3 size with one set in colour print.
2. Written proof to the AC of the Owners approval or consent for submission by a third party.
3. Proof to the AC of the receipt of payment of the scrutiny fee.
4. On approval of the plans by the AC, the original set of plans to be signed and stamped by the AC for submission to the Local Authority.
5. On approval of the plans by the local Authority, a copy of the plans to be submitted to the LGHOA before construction can commence.

1.7 Information required on plans

1. Site plan with contours at 0.5 meters.
2. Floor plan(s).
3. Elevations.
4. Sections.
5. Roof plan.
6. Windows and Doors schedules.
7. External Light Specifications.
8. Schedule of finishes.
9. Total floor areas of the main dwelling.
10. Total floor areas of the outbuildings.
11. Total floor areas of the open spaces (driveways, gardens, laundry yards, etc.).
12. Permissible coverage and actual coverage as a percentage and in terms of square meters.
13. Proposed floor levels.
14. North sign.
15. Positions of driveway and paving.
16. Building lines.
17. Sewerage line(s) details.
18. Location of retaining structures.
19. All boundary wall treatments and heights.
20. Storm water layout.
21. Electrical layout.
22. Solar & PV plan & layout.

1.8 Alterations to this document

1. Updating of the Architectural Rules & Guidelines will take place from time to time by the LGHOA without prior notice.
2. The owner is to ensure that his appointed contractor refers to the latest revised version of this document before commencing with the design of any building on the Estate.
3. Contractors must comply with all rules and regulations as defined in the current version of this document.
4. The Local Municipal Authority must also approve any alterations to this document.

1.9 Precedents

1. No precedent on the Estate may be used as motivation for any divergence from the design guidelines.

1.10 Owners responsibility

1. The owner and/or his appointed contractor will be responsible and liable for any damage or disturbance to the Estate by the contractor or any party in his employment.

1.11 Contractor's registration and rules in terms of LGHOA Construction Rules & Regulations must be adhered to at all times by all parties.

1.12 Variations

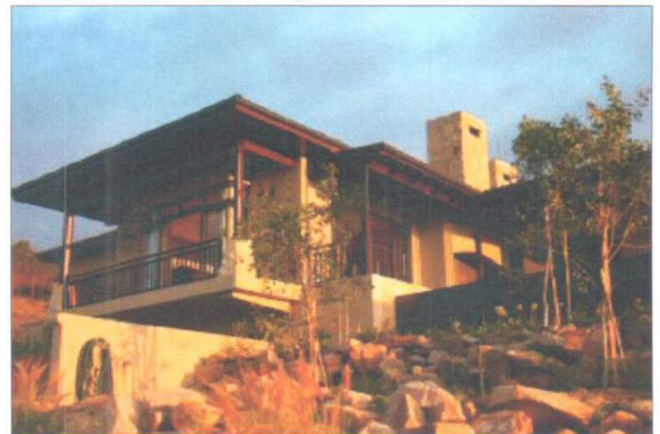
1. Variations to design or finishes must be submitted to the AC and LGHOA for its consideration.
2. The submission procedure mentioned in section 1.6 will apply and is subject to a lesser scrutiny fee.
3. Should complications arise during construction that require immediate action, these can be discussed directly with the AC. These may be implemented immediately on approval, but amended drawings must be submitted within two weeks of such approval.
4. The AC and LGHOA reserve the right to approve applications according to merit if such an application does not comply with Rules and Design Guidelines set out by this document.

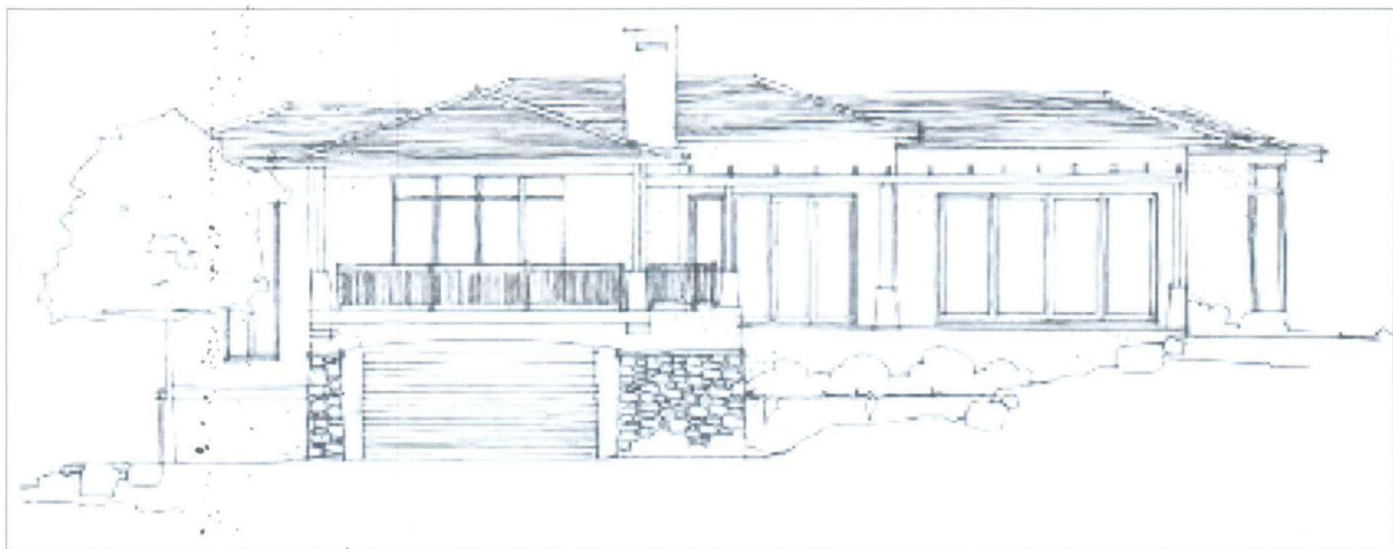
1.12 Arbitration

1. Any dispute, difference or question which arises at any time hereafter between the AC, LGHOA Owner and Contractor touching the true construction of this agreement or the rights and liabilities of the parties hereto shall, unless otherwise herein expressly provided, be referred to the decision of a single arbitrator to be agreed upon between the parties, or, in default of agreement for 14 (fourteen) days, to be appointed at the request of either party in accordance with, and subject to, the provisions of the arbitration Act 42 of 1965 or any statutory modification or re-enactment thereof for the time being in force. The Arbitrator's decision shall be final and binding.

2. DESIGN PHILOSOPHY

The design principles will ensure that the development is sensitive to the environment and will encourage the architectural design to allow for individual expression yet create a low visual impact. The Architectural Language/Style should be classic contemporary, incorporating the highest standards of architectural and environmental quality. Each dwelling should be designed to blend in with the natural contour of the site. The indoor and outdoor living should become one and landscaping must enhance the architecture.





3. CONTEXTUAL DESIGN

3.1. Slope

Definition: These definitions should be noted when determining slopes on individual stands:

1. The average slope on a stand should be measured in a continuous line perpendicular to the contours, for a distance of a maximum of 20 meters from the street boundary of the subject stand.
2. The following is an extract from the Draft Integrated Zoning Scheme of the George Municipality:
 1. *On a slope less than 1:5, any grading should respond to the natural character of the land form, and techniques such as custom foundations, split level designs and stacking of built form are expected to reduce the need of large platforms, embankments and retaining walls.*
 2. *On a slope of between 1:5 and 1:4, limited grading may occur, but major topographical features shall retain their natural forms, and special hillside architectural and design techniques are expected in order that buildings fit in with the natural land form.*
 3. *On a slope greater than 1:4, development and grading may only occur if it can be clearly demonstrated, to the Design Review Committee and the Council's satisfaction, that adverse environmental, aesthetic and safety impacts will be avoided. Structures shall blend with the natural environment with their shape, materials and colours and roadways shall follow the natural contours wherever possible.*

Careful analysis of the natural slope of each individual site in relation to the surrounding sites must inform the concept design. Level changes, retaining elements and terraces can result in a rich and varied environment that provides opportunities to create protected outdoor courtyards and spaces.

3.2. Views & Orientation

Views and orientation are an important consideration in the design of the dwelling as the view changes from site to site of the development. Careful consideration needs to take place for the allowance of northern sun into the dwellings, as well as optimal sea views.

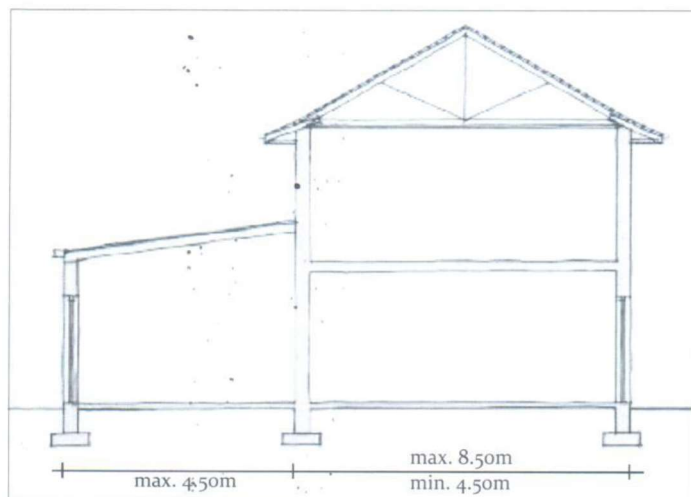
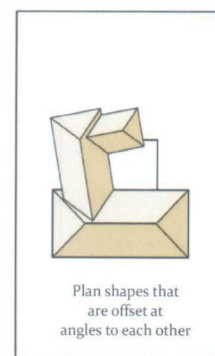
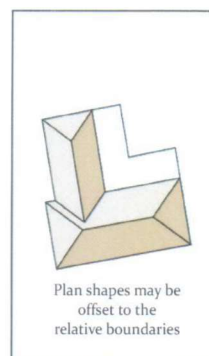
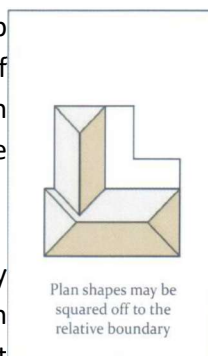
4. DESIGN CONTROLS

4.1. Coverage

1. The coverage refers to all building forms and includes the main dwelling, garages, covered verandas and outbuildings. Coverage of a maximum of 50% of the stand will be allowed within the confines of the building line restrictions in accordance with the approved site layout. A minimum house size allowed (single residential unit) will be **180m² inclusive** of garages, outbuildings, covered patios and covered verandas.
2. The first floor may not exceed 60% of the ground floor area of the main dwelling including the garage (verandas and outside covered areas are excluded). The designer must exercise discretion and give due consideration to the privacy of neighbours. The use of courtyards and screened walls are to be introduced in the design.

4.2. Build Form

1. It is very important that the designer keep in mind the visual impact on the skyline of the development. Therefore the main building should be broken up into separate elements to reduce the visual impact.
2. Plan form shall be predominately rectangular and composite rectangular in shape. These square shapes may be offset at any angle relative to the boundary and also to one another.



3. Maximum block width to core buildings to be 8.5 meters
4. Minimum block width to core buildings to be 4,5 meters
5. Maximum width to abutment to core buildings 4,5 meters
6. Blocks must be roofed individually
7. Connecting structures to have lower roofs
8. All forms to be directly attached to the ground
9. No stilts permitted unless for timber decks

10. Building masses will follow natural site contours, stepped floors must be setback a minimum of 2.0 meters.
11. An awareness of human scale is encouraged throughout the development. Verandas, pergolas, balconies and lean-to roofs are encouraged to reduce the scale of buildings.
12. Generally the exterior walls of the dwelling should not have an unbroken horizontal length of greater than **4.0** meters. The committee may require the addition of windows, lintels, or other detailing to create interest and consistency in the design.
13. Plan shapes may be squared off to the relative boundary
14. Plan shapes may be offset to the relative boundaries
15. Plan shapes that are offset at angles to each other

4.3. Building Lines

The building lines for residential erven must conform to the following restrictions:

1. Street: Dwelling/Outbuildings - 4.5m building line.
2. Garages to be set back 5.0 meters from curb.
2. Rear: A minimum of 3.0 meters.
3. Side/Common: A minimum of 3.0 meters.
4. Pools: Pools are allowed to be built 1.5m from boundary where positioned on rear and or side/common boundary. If build on street boundary, a **1.5m** building line is applicable (this also includes the pool pump). A boundary wall of 1.8m for 50% of the length of that boundary will be allowed for privacy.

*** Only designated sites (list will be provided) will be considered for the following restrictions:

5. Street: Dwellings/Outbuildings – 3.5m building line
Garages to have a setback of 5.0 meters. If garage door is turned away from street elevation, then the garage can be placed 1.5 meters away from the street boundary.
6. Rear: A minimum of 2.0 meters. Not applicable where site is next to public areas or in case of a double storey.
7. Side/Common: A relaxation to 1.5 meters will be allowed only to one side boundary. Not applicable where site is next to public areas or in case of a double storey.

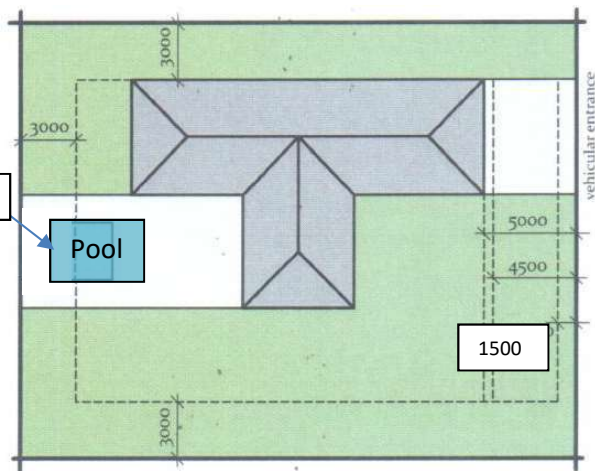


Figure illustrating building lines and garage facing the street.

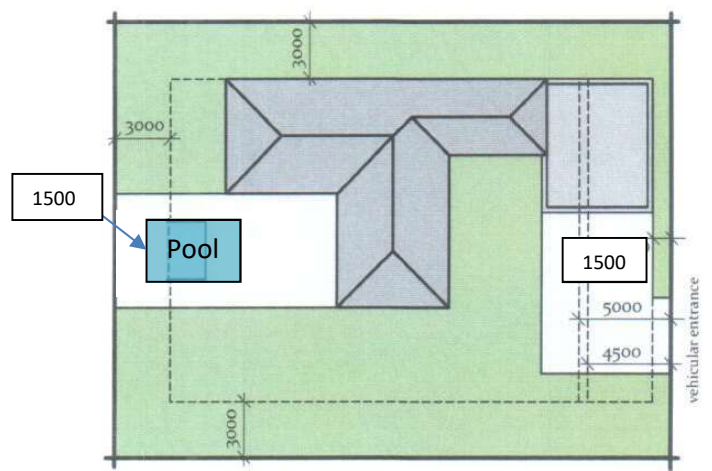
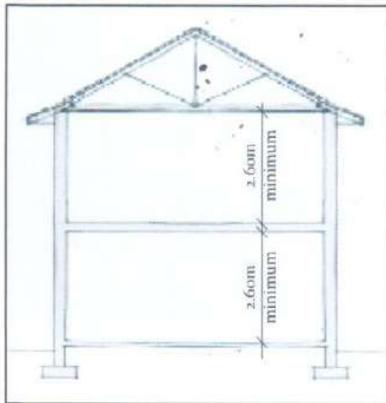


Figure illustrating building lines and garage NOT facing the street.

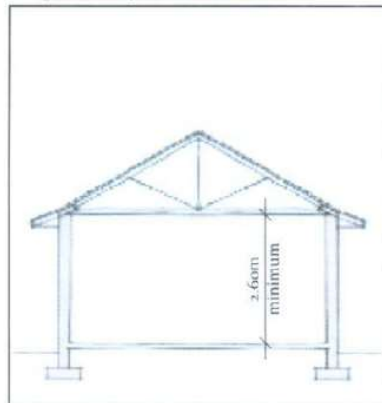
4.4. Height Restrictions

1. No building on the stand may exceed two storeys in height at any point above natural ground level. Natural Ground Level (NGL) to be confirmed by a land surveyor prior to construction and/or earthworks - site survey to be obtained showing contours in 0.50m intervals.
2. The regulations of the Local Authority are to be adhered to. Attics will be allowed subject to the approval of the Local Authority and if treated as an integral part of the roof structure.
3. The height from natural ground level at a point vertically below the ridge line shall not exceed **7,50m**. (Please refer to sketches). The height from finished floor level to the wall plate shall not be less than **2,6m** on a single storey. The maximum height from finished floor level to the wall plate may not exceed 3,50m on a single storey dwelling.

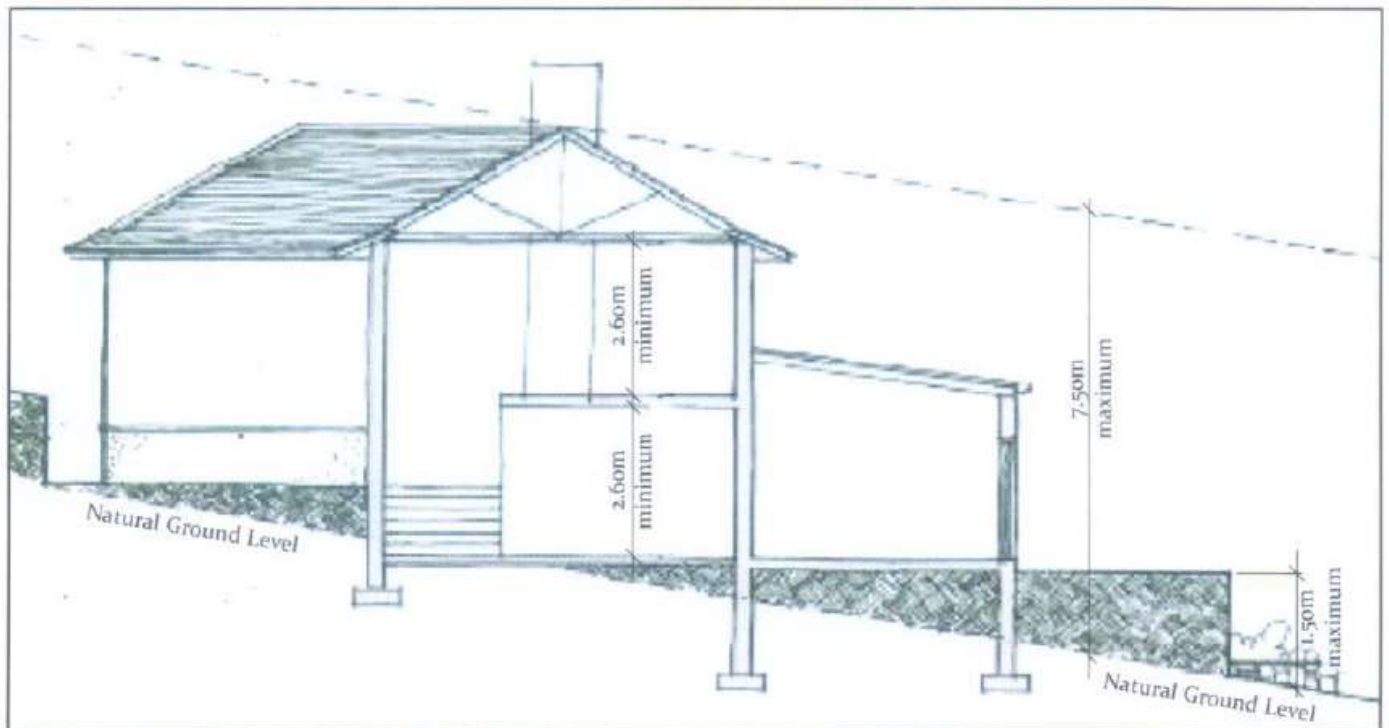
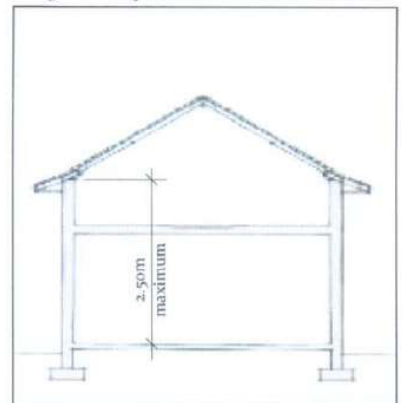
Double Storey



Single Storey



Single Storey - Room in Roof



5. ARCHITECTURAL GUIDELINES

5.1. Wall Construction:

1. All external walls to be quality clay brick cavity walls.
2. For aesthetical reasons or where service ducts are needed cavity walls may be enlarged to 360mm.

5.2. Wall Finishes:

1. Natural plaster finish to all external walls. Lightly "slushed" or "scratched" plaster finish is encouraged. Sample to be approved by the AC.
2. Natural stone finishes or bagged clay bricks may be incorporated as limited feature elements on facades or as finishes to plinths or retaining structures. The use of natural stone in the design will have to be approved by the AC.

5.3. Wall Colours:

1. All external walls to be finished in natural earth tone colours.
2. No "unnatural" or bright colours will be permitted.
3. Paint techniques will not be permitted externally.
4. All colours to be approved by the AC.

5.4. Wall Heights:

1. No vertical face of the building will be higher than 6.0m, measured externally from the finished ground floor level below it.
2. It would be preferred that on all double storey walls a plinth may be introduced in either plastered and painted finish or stone cladding finish. Plinth to be preferably min. 0,75m and max. 0,9m.
3. Enclosed lean-to maximum wall plate height 3.0m above finished floor level.
4. The finished ground floor or screening may not be raised more than 1,50m above natural ground level.
5. If a double storey is built, the major form must be accompanied by a balcony or lean-to roof.

6. ROOF

6.1. Roof forms

Roof forms have a major impact on the skyline and on the overall visual appearance of the Estate and should therefore be designed with care. Each core structure should be roofed individually with either a double or mono-pitched roof. Gables should be of simple design. Hipped roofs are discouraged but will be considered per application. Partly hipped roofs will be permitted only if the floor plan makes the use of a standard pitched roof impractical. Secondary structures should be roofed with either a mono-pitched or flat roof. Linking structures should be roofed with a flat roof.

1. Double-pitched roofs are to be pitched between 17.5° and 40°.
2. Mono-pitched roofs are to be pitched between 5° and 17.5°.
3. The minimum roof eave overhang allowed is 400 mm: eave closure detail to be provided. Gable overhang to be a minimum of 200mm.
4. Flat roofs are to be screened on three sides by an up-stand parapet wall.
5. The total area of flat roofs may not exceed 30% of the total footprint area.
6. Please note: Dwellings smaller than 200m² may only have pitched roofs over main structure (no flat roofs will be approved over main structure of garage)

6.2. Materials

The following materials may be used as roof cladding:

1. Natural slate tiles
2. Concrete roof tiles
3. Factory painted steel or aluminium roof sheeting – only corrugated and Klip-lock profiles are permitted.
4. Fibre cement small corrugated roof sheeting
5. Concrete flat roofs are to be finished with a natural stone chip finish.

6.3. Colours

1. Natural slate tiles – grey and black
2. Concrete roof tiles – grey, charcoal and black
3. Factory painted steel or aluminium roof sheeting – only corrugated and Klip-lock profiles are permitted. (*Black, dove grey or charcoal*).
4. Fibre cement small corrugated roof sheeting - Black, dove grey, charcoal.
5. Concrete flat roofs are to be finished with a natural stone chip finish.

6.4. Dormer windows and roof lights

1. Dormer windows will be allowed. Roof lights should be designed to complement, and not to detract, from the major roof form. The privacy of neighbours should be considered when designing these windows.

6.5. Gutters and down pipes

1. Only factory painted metal gutters to match the roof colour or fascia/barge board colour and **PVC downpipes** – painted the same colour as the dwelling - are allowed.

7. WINDOWS & DOORS

7.1. Proportions

1. Windows and doors **MUST** be proportionate to the elements that they are built in and have a vertical rather than horizontal proportion, unless behind veranda and/or patio.
2. Larger openings may be created by combining a series of vertically proportioned windows and doors. Decorative front doors to be approved by the AC.

7.2. Materials

The following materials may be used for both windows, doors, garage doors & gates:

1. Either Natural timber (*it is noted that this is at the owners own risk*)
2. Or Aluminium
3. Or composite material approved by the AC

7.3. Colours and finishes

1. Natural timber to be dark stained or painted.
2. Aluminium may be natural or powder coated.
3. The colours and finishes to be approved by the AC.

7.4. Garage doors

1. Timber or metal / aluminium garage doors, painted, stained or epoxy coated in the same colour and material as the windows and doors, are to be used.
2. Door proportions are to be rectangular only and single or double doors may be used.

7.5. Garden gates

1. Vertical or horizontal slatted garden gates, finished to match the external windows and doors, may be used.
2. Yard gates to have openings no greater than 5mm.
3. Gates may not be higher than the walls or fences in which they are positioned.
4. All other gate designs must be submitted to the AC for approval.

7.6. Burglar bars

1. Burglar bars may be fitted on the inside only and should be painted to match the window frame colour.

7.7. Shutters

1. Timber or aluminium horizontal sliding shutters, finished in the same colour as the doors and window frames, may be fitted.
2. No decorative, non-functional shutters, will be allowed.

8. BOUNDARY & FENCES

- 8.1. Boundary walls should form part of the visual extension of the building and blend in with the architectural character of the development.
- 8.2. It is encouraged that outside courts and spaces are created next to buildings as opposed to fencing in the property.
- 8.3. All boundary walls or palisade fences should have a stabilizing element such as brick piers.
- 8.4. No VIBRACRETE type walls or fences will be permitted.

Street Boundary Walls

- 8.5. Only low walls of 1.2m with a return of 4.5m will be permitted on the street boundary of a stand to ensure that street scape does not look bland.
- 8.6. All common boundary walls to be 1.8m high from natural ground level or no boundary wall at all. Where no boundary wall is built, the boundary demarcation must still be shown with the use of trees, etc.
- 8.7. Where courtyards are formed as part of the design layout, the walls must be 2.1m in height. Please note that the drying yard area may not be more than 40m².
- 8.8. In the case of a corner plot where the side boundary also forms a street boundary, this boundary may be enclosed by a 1.8m boundary wall, but not more than 50% of that boundary distance.
- 8.9. It is encouraged that where shared boundary walls are used, these must be built on the owner's boundaries and may not encroach onto the neighbouring site.



9. CHIMNEYS

These are important elements in the architectural composition of the house. Plastered and painted masonry or stone cladded or stainless steel chimneys will be allowed. If not cladded with stone the chimney colour must match that of the colour of the house. The highest point of the chimney should be a maximum of 1m above the ridge line of the roof.

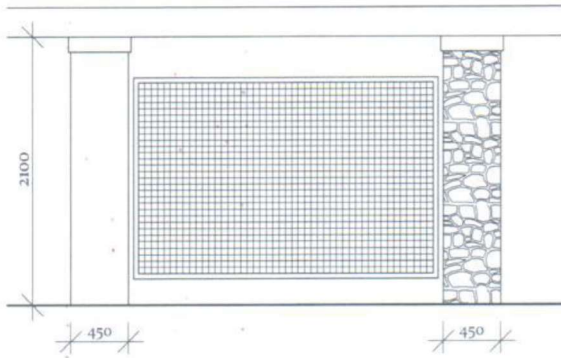
10. PERGOLAS

- 10.1. Natural timber structures are allowed but needs to be pre-approved by the AC.
- 10.2. Only approved covering will be allowed over pergolas.
- 10.3. Approved composite wood products are allowed.

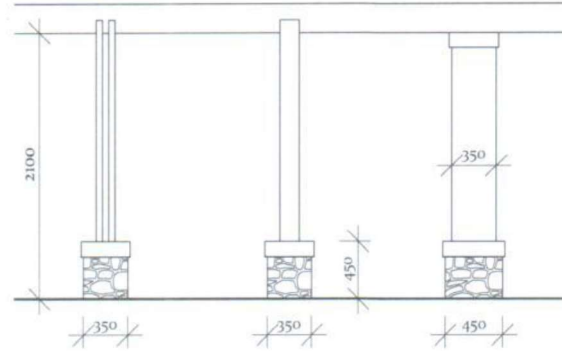
Pergola Support Types:

- 10.4. No precast moulded columns or other columns with historical references permitted.

- 10.5. Masonry columns to be 350mm x 350mm minimum.
- 10.6. Stone cladded columns to be a minimum of 350mm x 350mm square.
- 10.7. Stone cladded bases to be 450mm square minimum.



Images illustrating prescribed columns and posts.



Please note that other designs will be looked at by the DRC.

11. BALUSTRADES

- 11.1. All balustrading to balconies will conform to national building regulations.
- 11.2. Balustrading must consist of:
 - Glass panelling.
 - Stainless steel with or without glass panelling.
 - Aluminium with or without glass panelling.
 - Black Wrought Iron - Decorative detailing is discouraged.

12. BALCONIES

Balconies on the first floor will only be allowed under the following conditions:

- 12.1. These terraces may face the street.
- 12.2. These terraces must be enclosed by the core building and must form an integral part of the design.
- 12.3. When the terrace is not enclosed by the core building on both sides it must be enclosed by a screen wall on the open end.
- 12.4. These terraces may be covered by a lean-to roof with the approval of the AC.
- 12.5. Mock balconies may not exceed width of 3.0m and depth of 1.0m.
- 12.6. No balcony may be built over the building lines as given in section '4.3 Building Lines'.

13. RETAINING WALLS

- 13.1. Stone chip "Loffelstein" type retaining blocks may be used.
- 13.2. If "Loffelstein" is higher than 1.0m it should be covered with planting.
- 13.3. Banked stand at 45 degrees can also be used. No banked stand should be higher than 1.50m.
- 13.4. Where site needs the use of a combination of external stairs and retaining walls, stone cladded or timber retaining walls with height of up to 1,50m may be used.



Image illustrating prescribed 'Loffelstein' type retaining wall



Image illustrating prescribed retaining wall at 1.50m high.

14. GENERAL

14.1. Satellite Dishes

All satellite dishes and TV aerials to be fitted below main building eaves line. Position to be clearly shown and annotated.

14.2. Service Pipes

All sewer pipes on double storey dwellings should be concealed in vertical ducting - either flush with external wall. Sewer pipes at single storey dwelling can be exposed, but not on street elevation or direct entrance view.

14.3. Braais

- Braais may not form part of side boundary wall and must conform to the building lines.
- The chimney of the braai should match that of the house.
- All braais to have chimneys

14.4. Swimming Pools

- Swimming pools may NOT be built on the boundary.
- Swimming Pool enclosures have to comply with the National Building Regulations and focus on safety.
- Swimming pool enclosures may be metal Post and rails which should be painted charcoal.
- When water is drained from the swimming pool, the water should be drained into the **storm water** system. Water is not to be drained into the landscape areas.
- Pool filtration systems and pumps are to be screened with either a low masonry, stone wall, timber picket or lattice fence. Positioning of pump will be subject to the approval of the AC AND WILL NOT BE PERMITTED ON COMMON BOUNDARY.

14.5. Conservatories

Conservatories will be allowed but is subject to the approval of the AC.

14.6. Parking, Driveways & Carports

- Every stand must have off street parking for at least two cars. This is in addition to garaging.
- Driveways will be constructed from either cobbles or paving bricks.
- No tarring of driveways is allowed. The use of half bricks in paving and driveway paving is not allowed.
- All carports to be approved by the AC according to merit and **must be built within the building lines.**
- Driveways must be constructed over carriageway crossing.

14.7. Air conditioning/heat pumps

All air conditioning condensers should be installed at ground level and should be screened. Window mounted units will not be permitted. Wall mounted units will only be allowed if below 1.2m height taken above the finished floor level. No AC units may be visible from the street. All AC units and heat pumps should be installed at ground level and not visible from the street.

14.8. House Numbers

House Numbers shall not be larger than 80mm width and 120mm height.



14.9. Clothing Lines

All clothing lines should be screened by 2.1m high wall or separate service courtyard.

14.10. Waste Bins

All waste bins should be screened by 2.1m high wall or separate service courtyard.

14.11. Gas Installation

- All gas cylinders should be screened behind wall 2.1m to neighbours.
- Certificate for gas installation to be obtained.
- Gas housing box to be painted same colour as the walls.

14.12. Electricity Installation

- Electric meter box will be ABBA. P-I -A1 Blank slide box.
- Prepaid electrical meters must be installed for all dwellings.
- Electric meter boxes are to be painted to match the wall colour.

14.13. External Lighting

- All Landscape Lighting should be discreet and not higher than 900mm.
- Lights on walls at front door, garage and entrances form a welcome guide for visitors and play both a functional and aesthetic role. Lights to be approved by aesthetics committee.
- No motion sensor lights will be permitted.
- No bright exterior, garden and security lighting will be allowed.

14.14. Solar Heated Hot Water Installation

Solar heating panels, if used, should be incorporated into the buildings and form part of the basic structure, should be clearly shown and annotated, and should not extend above the roof profile.

14.15. Solar PV installations

Solar panels, if used, should be incorporated into the buildings and form part of the basic structure, should be clearly shown and annotated, and should not extend above the roof profile.

15. LANDSCAPING

15.1. Hard landscaping

Definition: Hard landscaping will include all paved areas such as driveways, on-site parking bays, garden pathways, unroofed terraces and service yards.

- All paved areas which are covered by a roof or pergola, will be excluded.
- The maximum area of hard landscaping may not exceed 15% of the stand area.
- No gardens sheds or 'Wendy' houses will be permitted.

15.2. Soft landscaping

- All road reserves and public open spaces will be landscaped by the developers of Le Grand and maintained by the LGHOA.
- Only indigenous trees, shrubs and groundcovers will be used. This will set the theme for the landscaping of the entire Estate.
- Private gardens are to be designed keeping in mind the overall beatification of the Estate
- A general landscape plan for each stand has to be submitted to the AC for approval prior to the commencement of the landscaping contract.